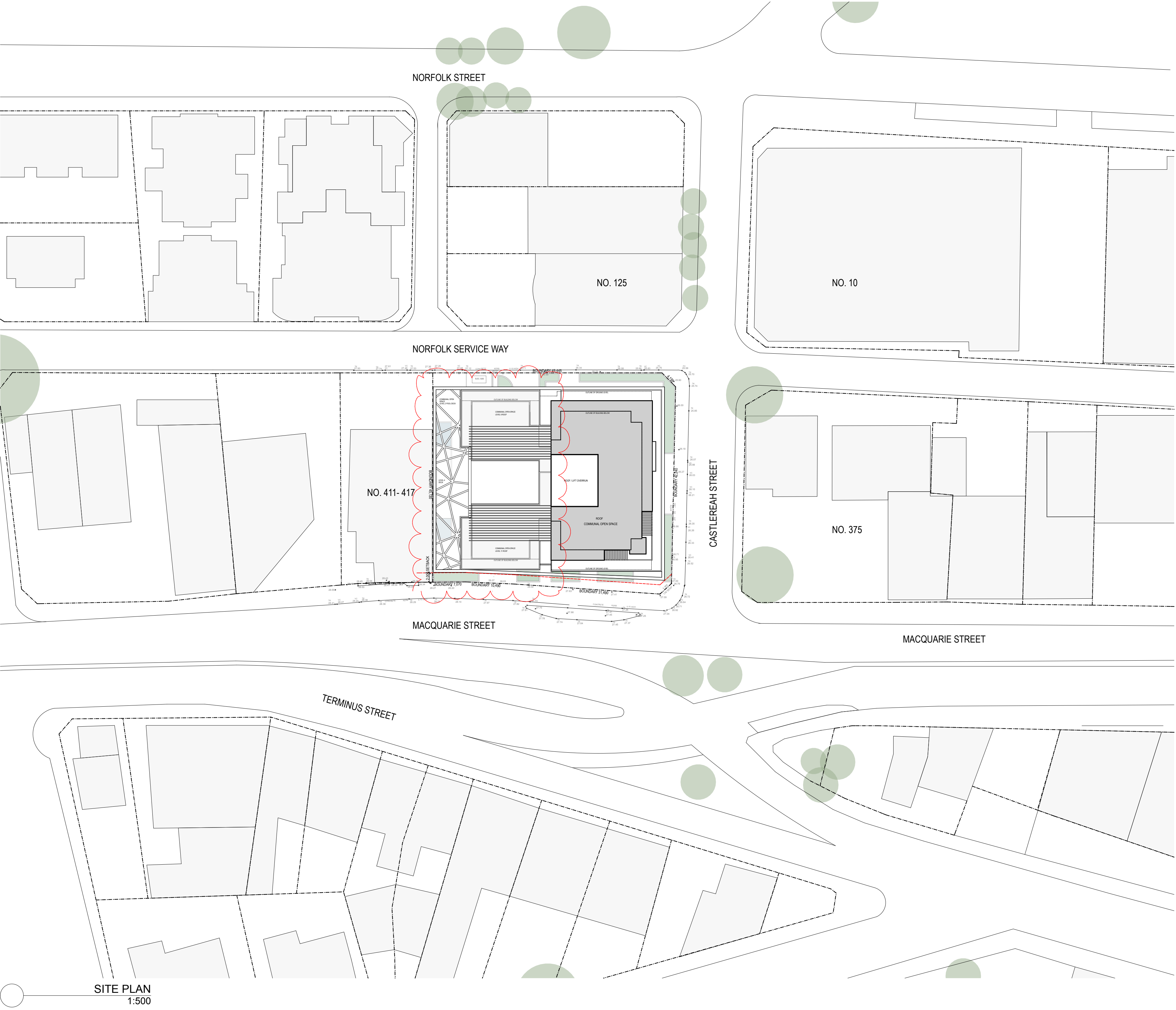
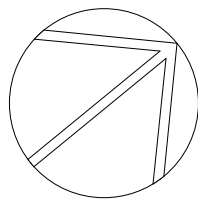




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Notes



ISSUE	DESCRIPTION	BY	DATE
A	ISSUE FOR DA	CT	30.09.15
B	Amended screens and roof top shading structures	CT	15.03.16

project
**MIXED USE
DEVELOPMENT**

location
**387-403 MACQUARIE ST
LIVERPOOL**

client
PELLICANO GROUP

drawing title
Site & Context Plan

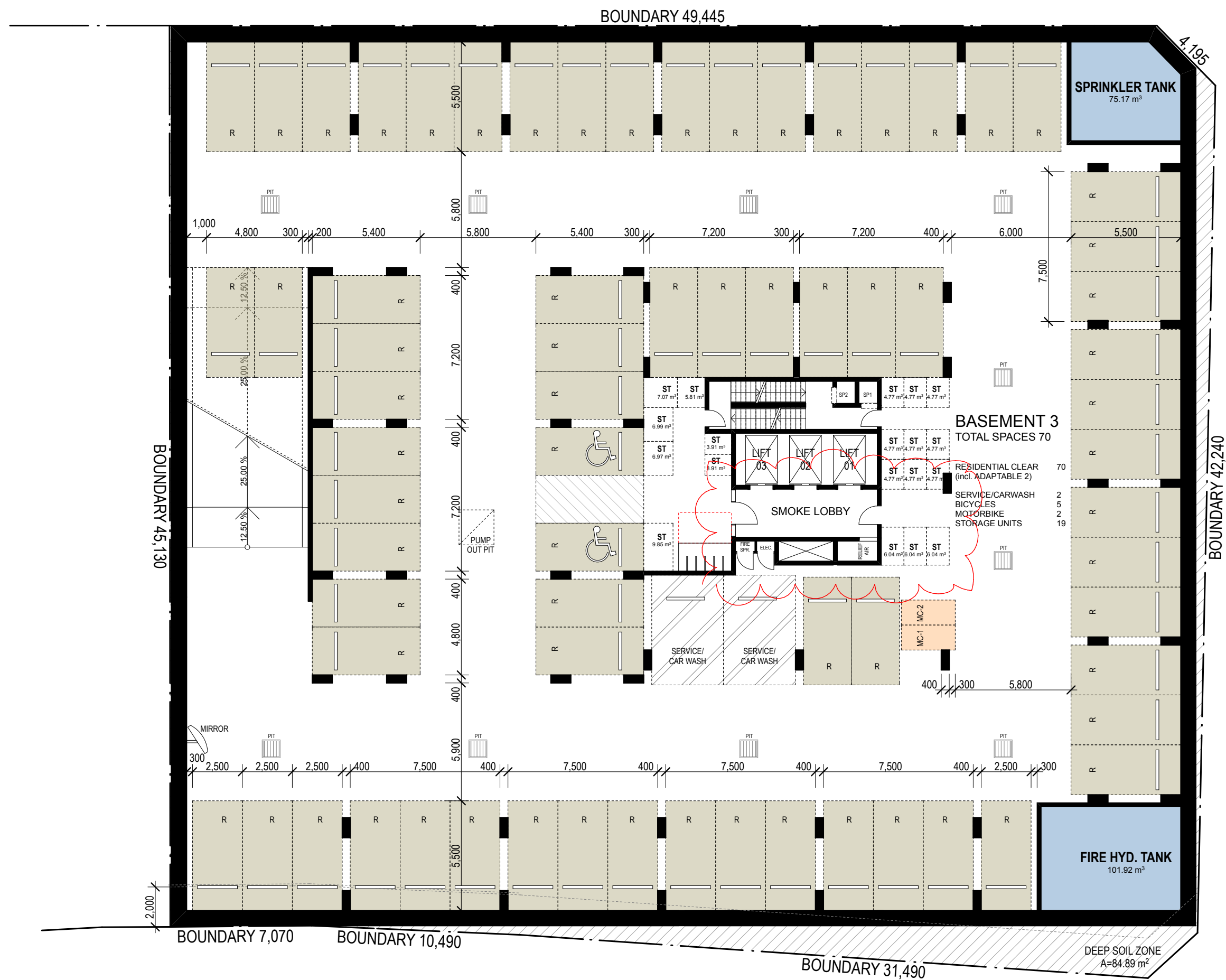
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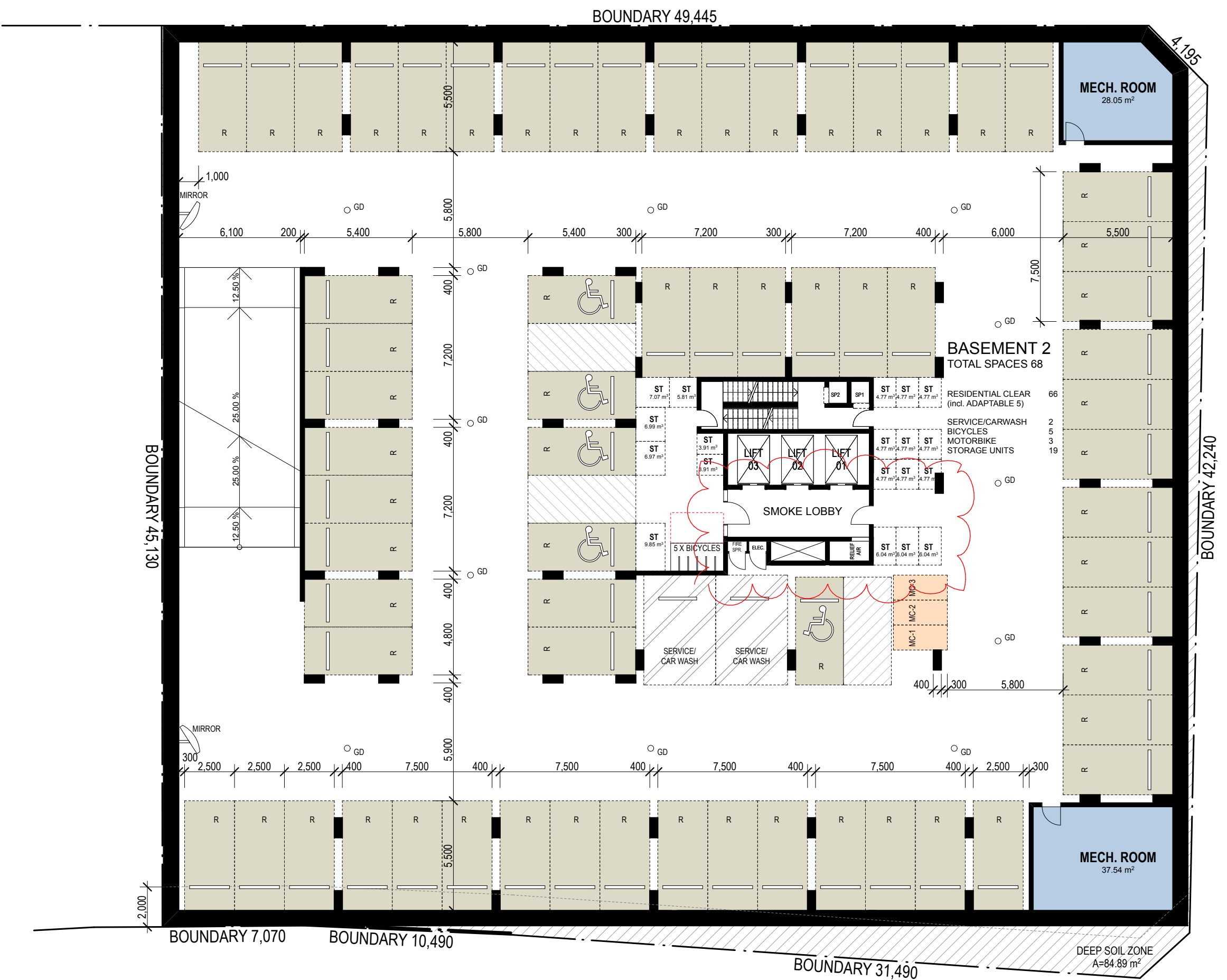
p 02 9601 3244 **f** 02 9601 6336

a po box 3353, liverpool westfield nsw 2170



MACQUARIE STREET

BASEMENT 3
1:200

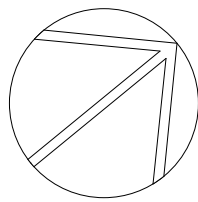


MACQUARIE STREET

BASEMENT 2
1:200

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Notes



ISSUE	DESCRIPTION	BY	DATE
A	ISSUE FOR DA	CT	30.09.15
B	Minor change to basement lobby and adjacent stores	CT	15.03.16

project
**MIXED USE
DEVELOPMENT**

location
**387-403 MACQUARIE ST
LIVERPOOL**

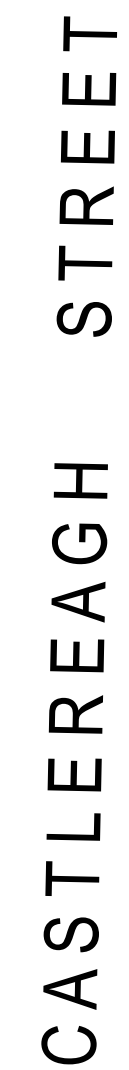
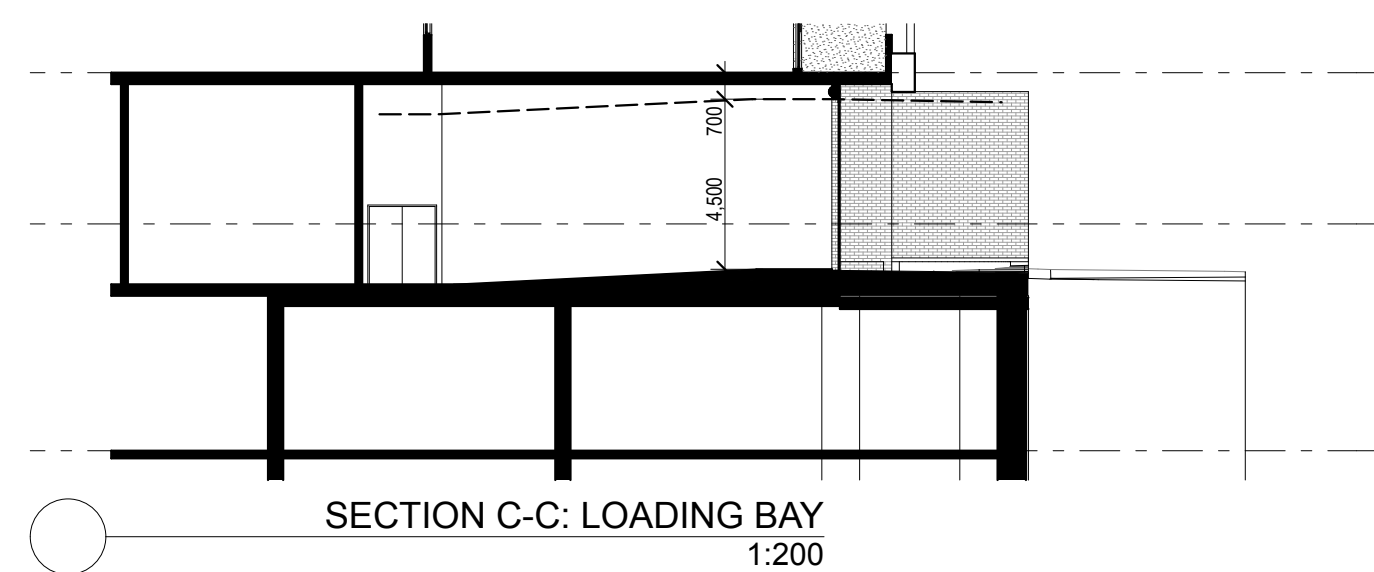
client
PELLICANO GROUP

drawing title
Basements 2 & 3

date 23.06.15	checked no	project arch. GK	drawn SB
scale AS SHOWN @ A1	no 15014	AP04	issue B

m p a
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a po box 3353, liverpool westfield nsw 2170



-

project
**MIXED USE
DEVELOPMENT**

location
**387-403 MACQUARIE ST
LIVERPOOL**

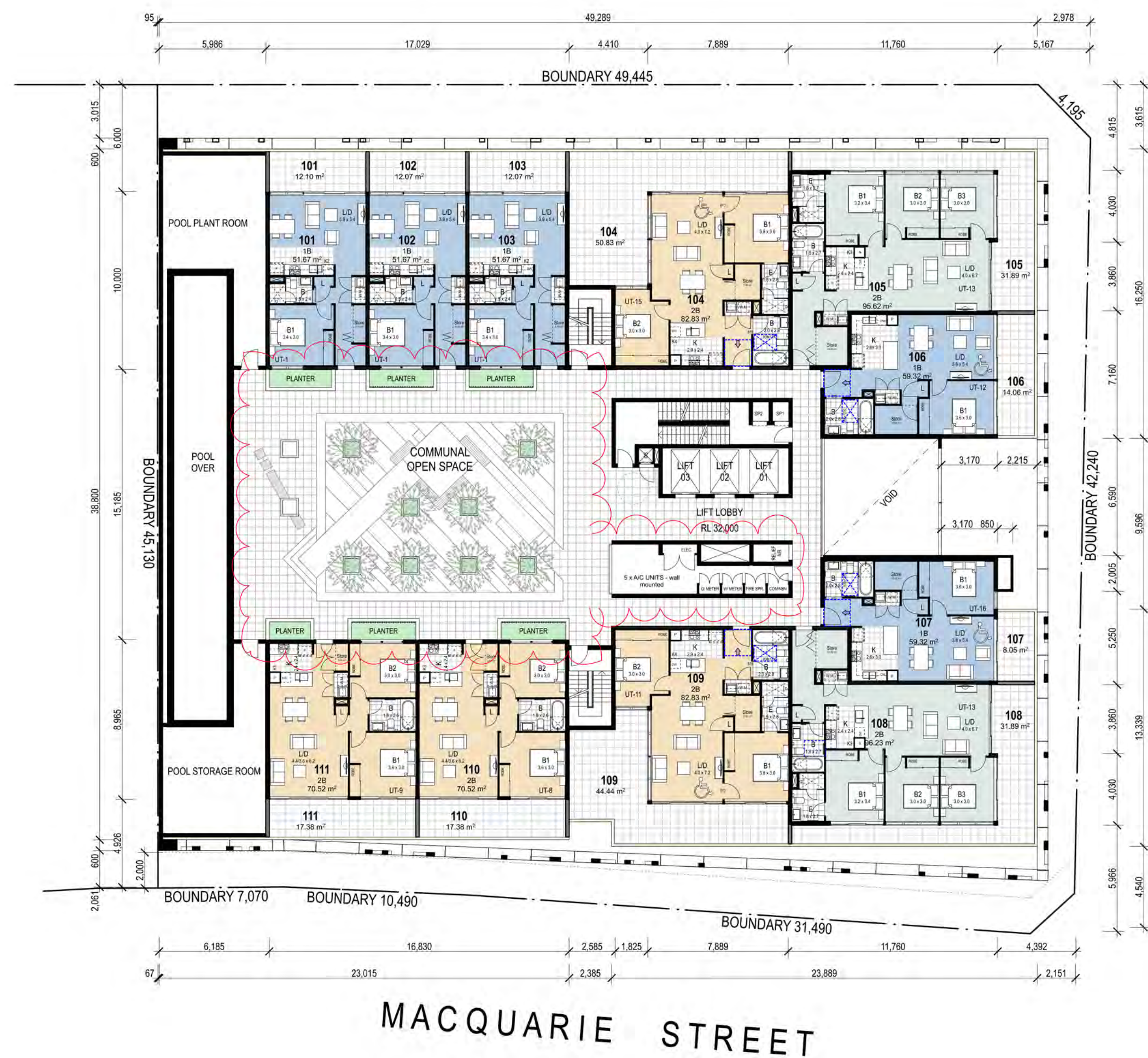
client
PELLICANO GROUP

drawing title
Basement 1 & Ground Floor

date 23.06.15	checked	project arch. GK	drawn SB
scale AS SHOWN @ A1	no	15014	AP05
			issue B

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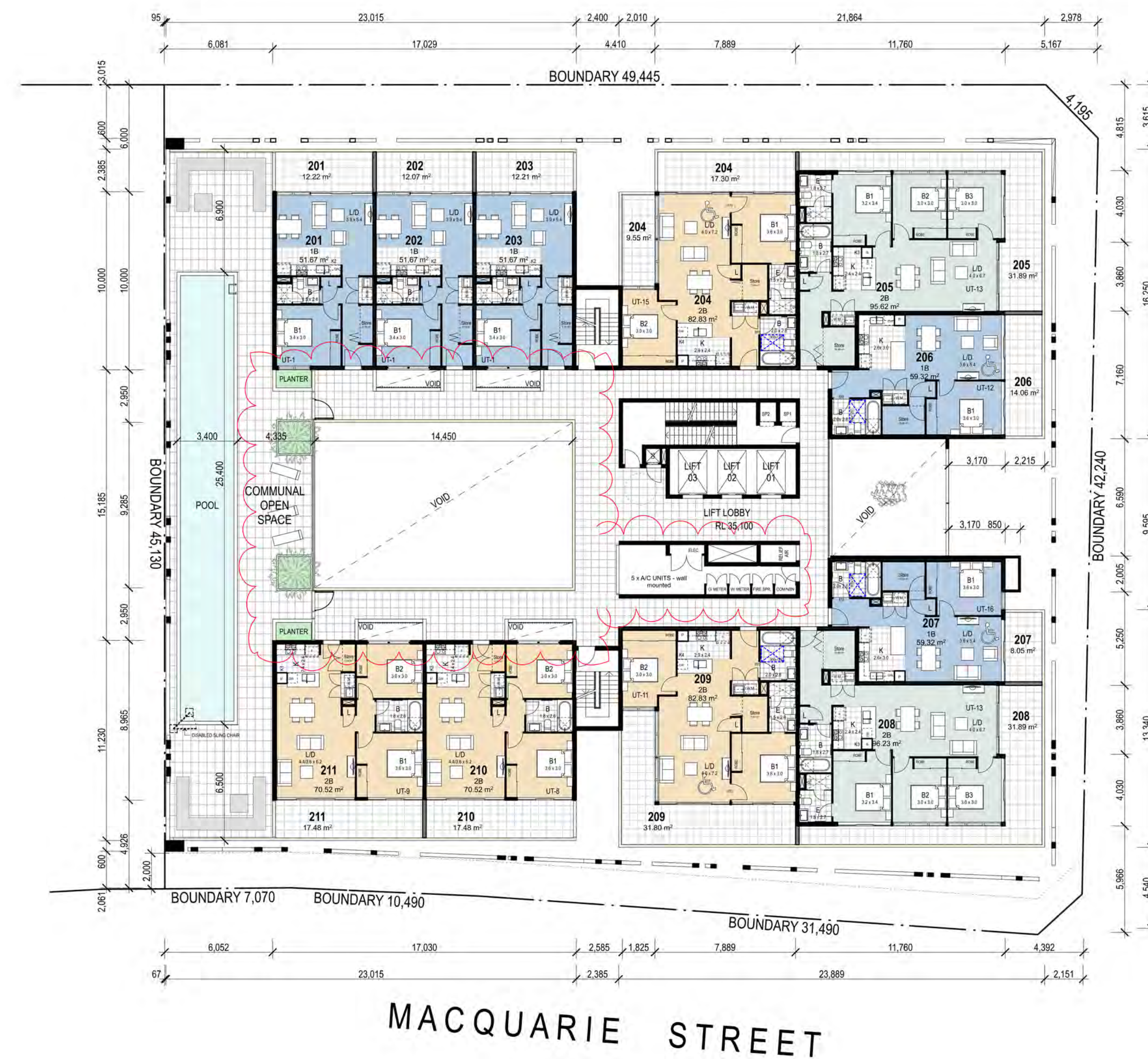
p 02 9601 3244 **f** 02 9601 6336
a po box 3353, liverpool westfield nsw 2170



CASTLEREAGH STREET

MACQUARIE STREET

LEVEL 1
1:200



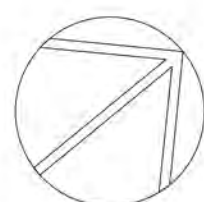
CASTLEREAGH STREET

MACQUARIE STREET

LEVEL 2
1:200

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Notes



ISSUE	DESCRIPTION	BY	DATE
A	ISSUE FOR DA	CT	30.09.15
B	Minor adjustment to core New planters/ voids adjacent to units Amended communal open space to suit Amended screens	CT	15.03.16

project
MIXED USE DEVELOPMENT

location
387-403 MACQUARIE ST LIVERPOOL

client
PELLICANO GROUP

drawing title
Levels 1 & 2

date 23.06.15	checked GK	project arch. GK	drawn SB
scale AS SHOWN @ A1	no 15014	AP06	issue B

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LEVEL 3
1:200

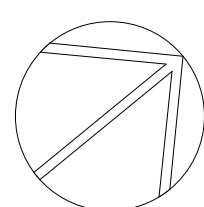
CASTLEREAGH STREET



LEVEL 4
1:200

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Notes



ISSUE	DESCRIPTION	BY	DATE
A	ISSUE FOR DA	CT	30.09.15
B	Minor adjustment to core New planters/ voids adjacent units Amended screens	CT	15.03.16

project
MIXED USE DEVELOPMENT

location
387-403 MACQUARIE ST LIVERPOOL

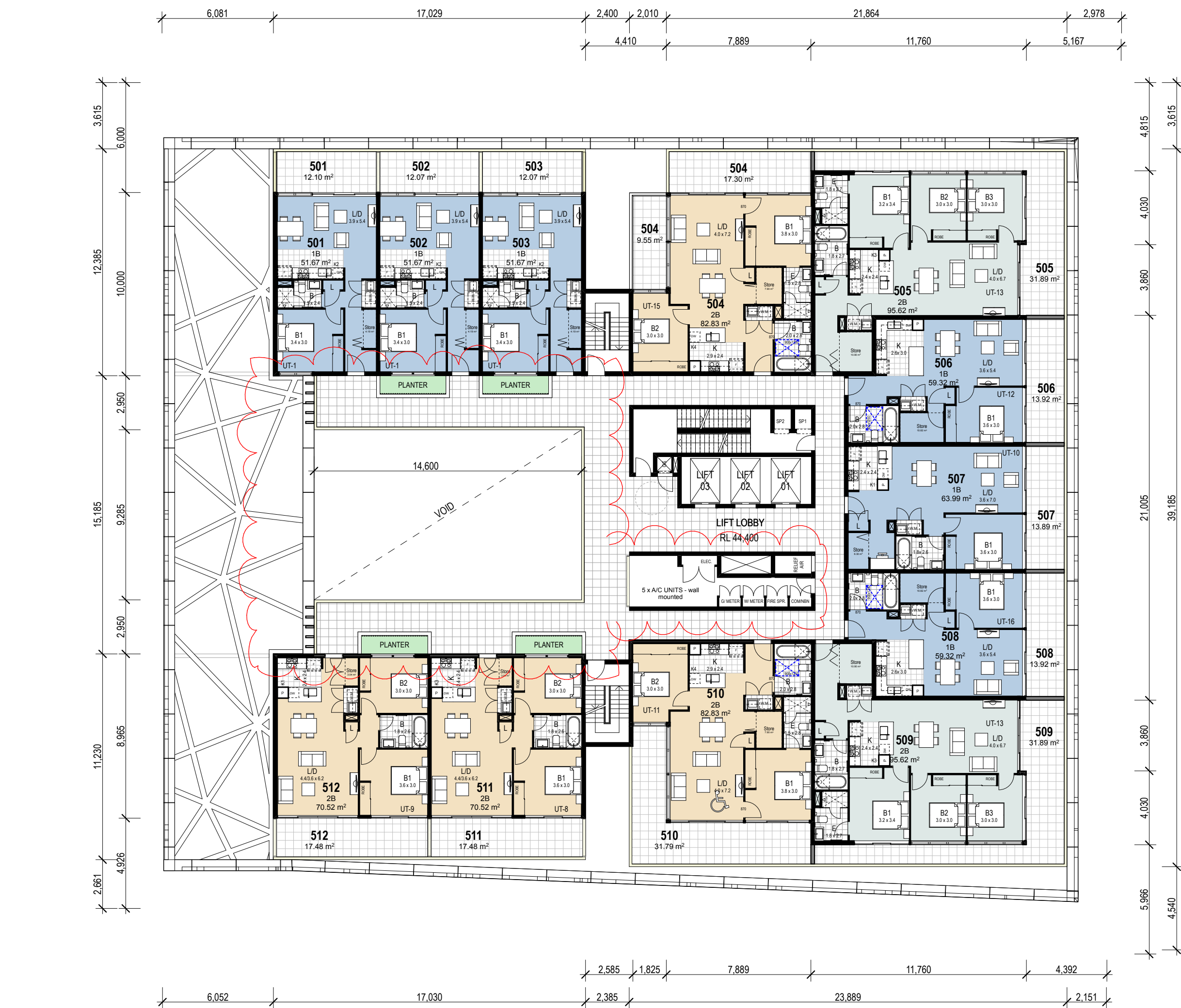
client
PELLICANO GROUP

drawing title
Levels 3 & 4

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scale AS SHOWN @ A1	no 15014	AP07	ISSUE B

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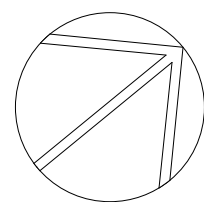
p 02 9601 3244 f 02 9601 6336
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LEVEL 5
1:200

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Notes



LEVEL 6
1:200

ISSUE	DESCRIPTION	BY	DATE
A	ISSUE FOR DA	CT	30.09.15
B	Minor adjustment to core New planters/ voids adjacent units Amended screens	CT	15.03.16

project
**MIXED USE
DEVELOPMENT**

location
**387-403 MACQUARIE ST
LIVERPOOL**

client
PELLICANO GROUP

drawing title
Levels 5 & 6

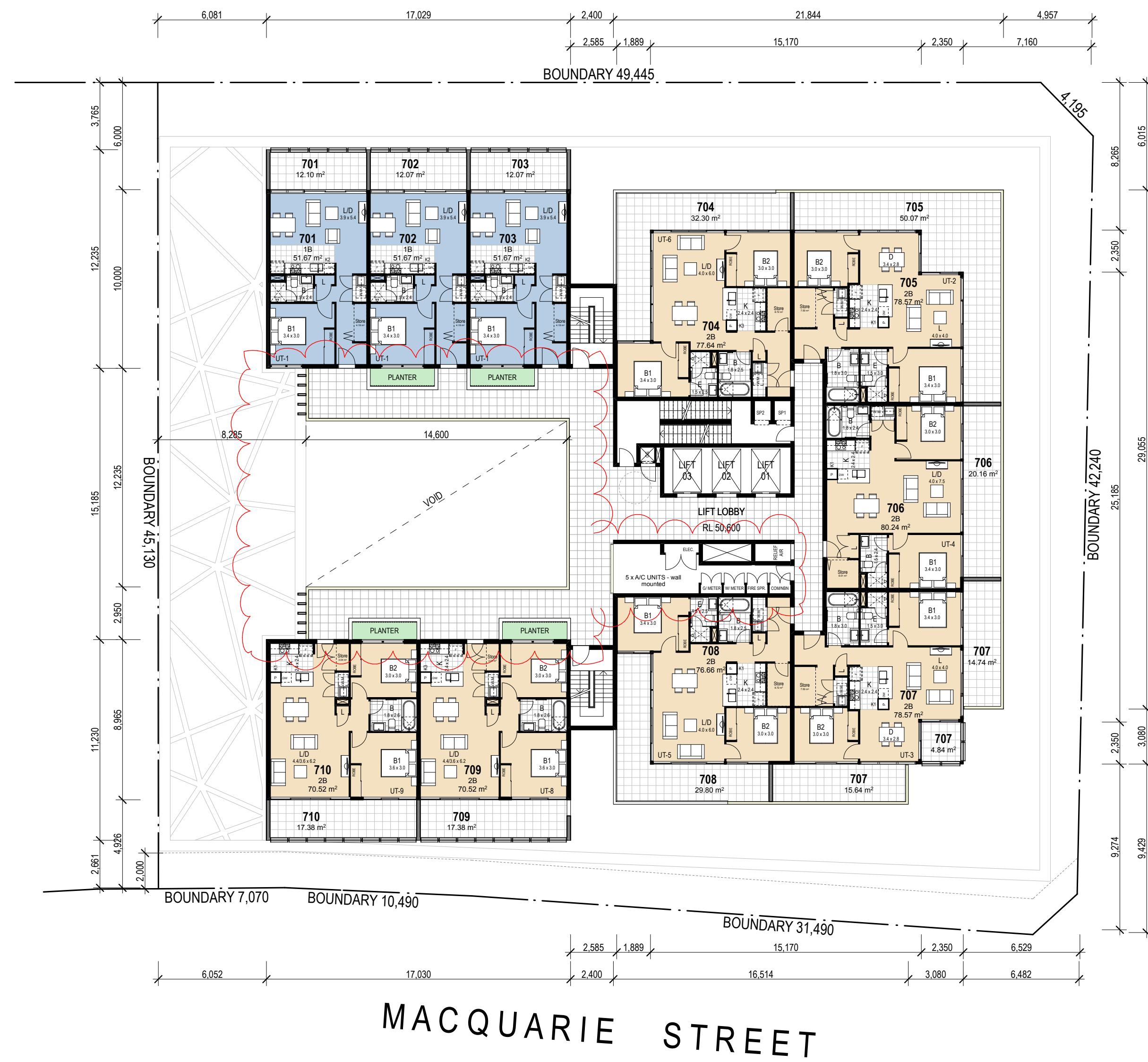
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CASTLEREAGH STREET

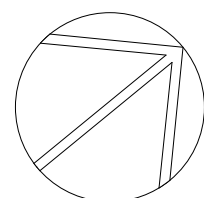
MACQUARIE STREET



LEVEL 7-8 TYP
1:200

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Notes



CASTLEREAGH STREET



LEVEL 9
1:200

ISSUE	DESCRIPTION	BY	DATE
A	ISSUE FOR DA	CT	30.09.15
B	Removed 3 units from northern wing Minor adjustment to core New planters/ voids adjacent units Amended screen	CT	15.03.16

project
**MIXED USE
DEVELOPMENT**

location
**387-403 MACQUARIE ST
LIVERPOOL**

client
PELLICANO GROUP

drawing title
Levels 7 - 9

date 23.06.15	checked GK	project arch. GK	drawn SB
scale AS SHOWN @ A1	n/o 15014	AP09	issue B

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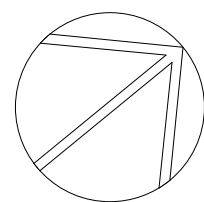


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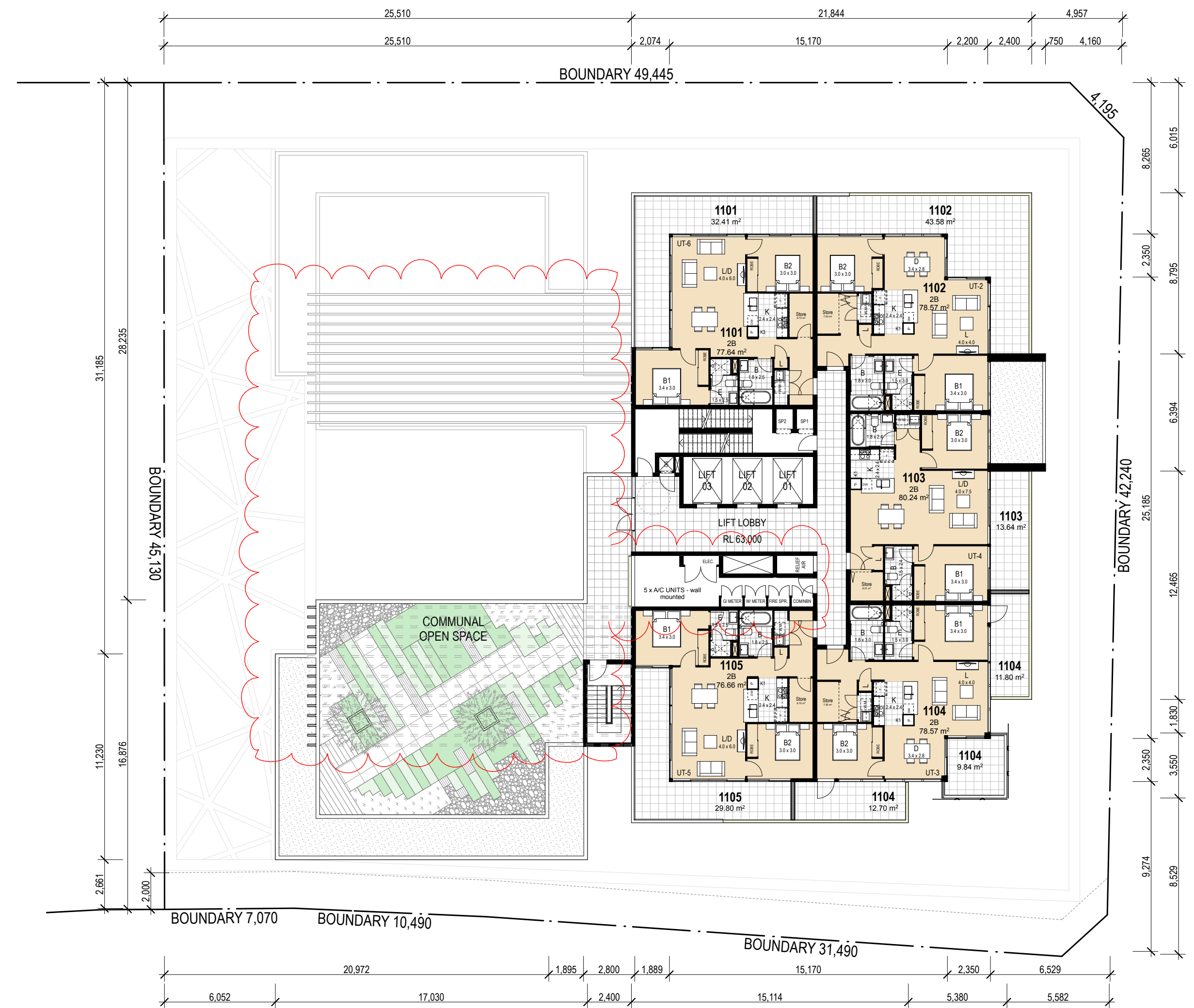
LEVEL 10
1:200

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Notes



CASTLEREAGH STREET



MACQUARIE STREET

LEVEL 11
1:200

ISSUE	DESCRIPTION	BY	DATE
A	ISSUE FOR DA	CT	30.09.15
B	Removed 3 units from northern wing Amended screens and roof top shading structures Minor adjustment to core New planters/ voids adjacent units	CT	15.03.16

project
**MIXED USE
DEVELOPMENT**

location
**387-403 MACQUARIE ST
LIVERPOOL**

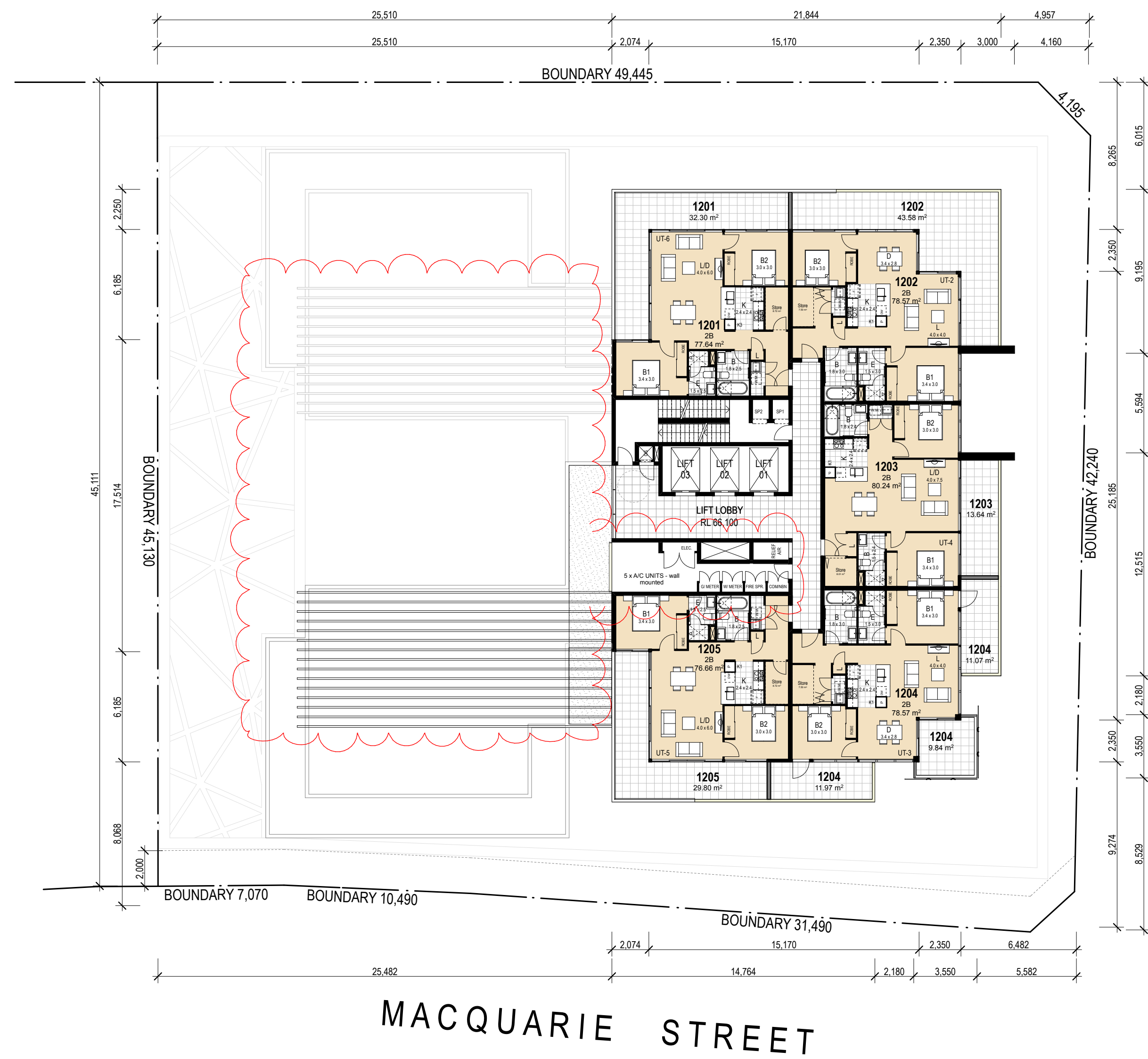
client
PELLICANO GROUP

drawing title
Levels 10 - 11

date 23.06.15	checked GK	project arch. GK	drawn SB
scale AS SHOWN @ A1	no 15014	AP10	issue B

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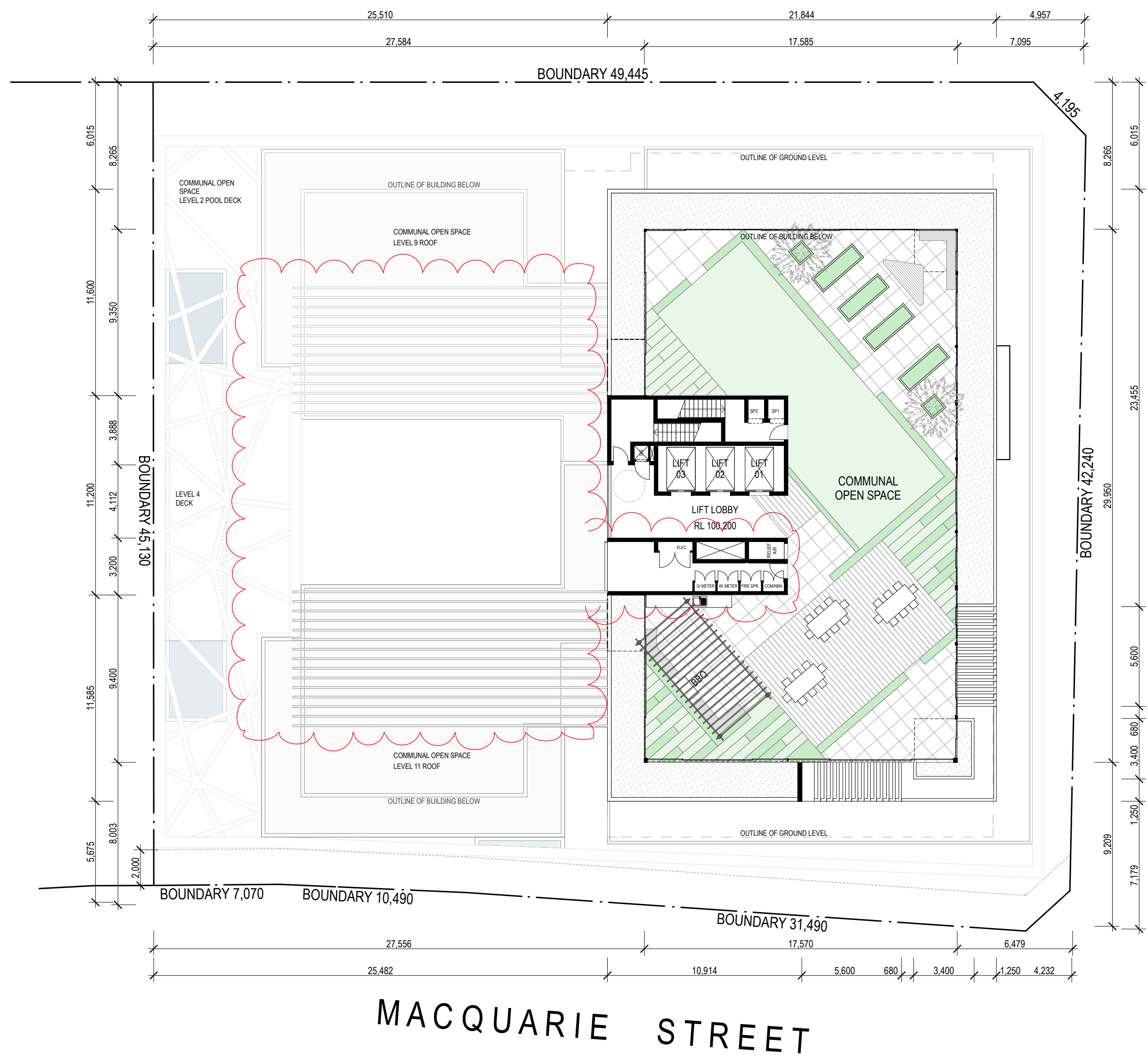
p 02 9601 3244 f 02 9601 6336
a po box 3353, liverpool westfield nsw 2170



LEVEL 12-22 TYP
1:200

CASTLEREAGH STREET

MACQUARIE STREET



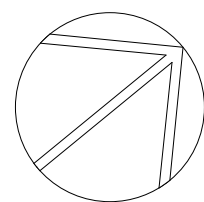
ROOF
1:200

CASTLEREAGH STREET

MACQUARIE STREET

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Notes



ISSUE	DESCRIPTION	BY	DATE
A	ISSUE FOR DA	CT	30.09.15
B	Amended screens and roof top shading structures Minor adjustment to core	CT	15.03.16

project
MIXED USE DEVELOPMENT

location
387-403 MACQUARIE ST LIVERPOOL

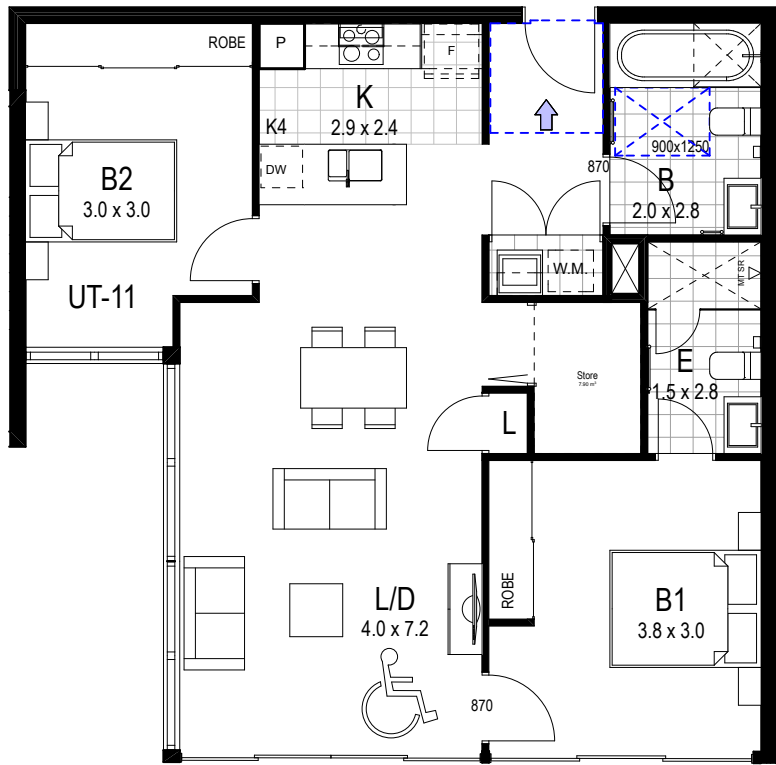
client
PELLICANO GROUP

drawing title
Levels 12 - Roof

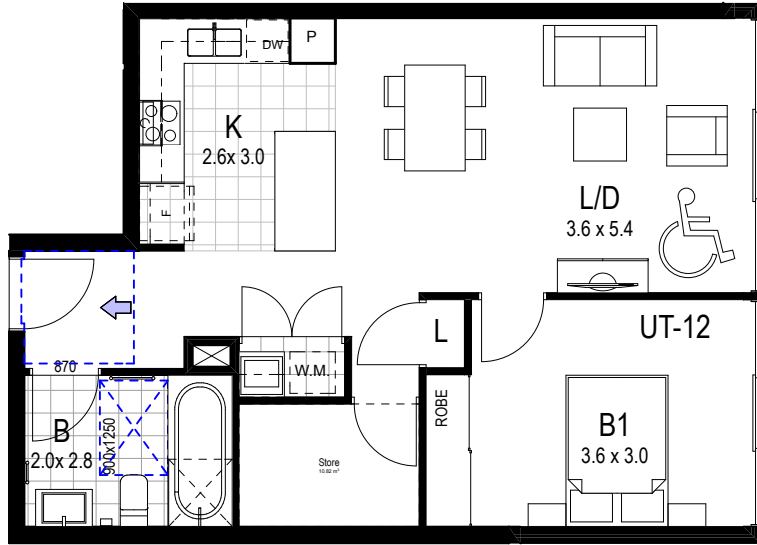
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mosca pserras architects

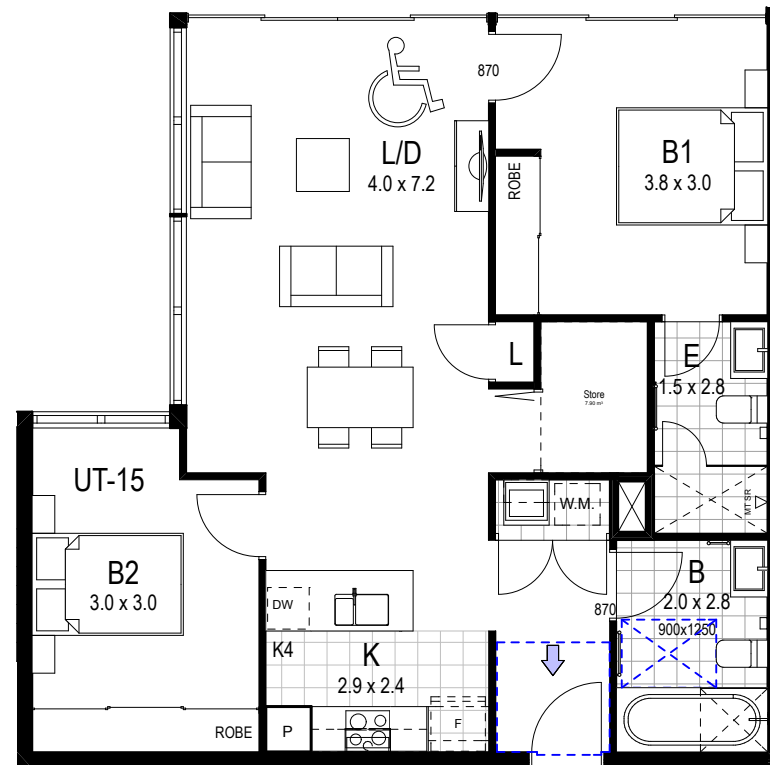
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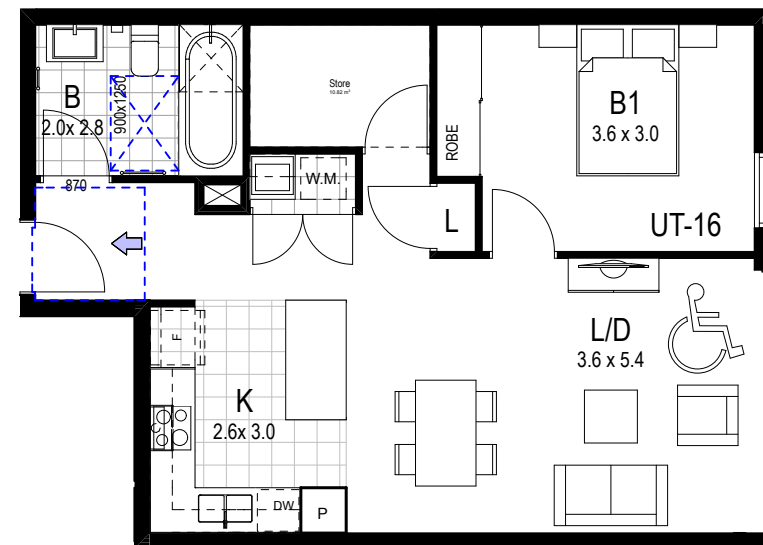
UT-11 Pre-Adaptation
1:100



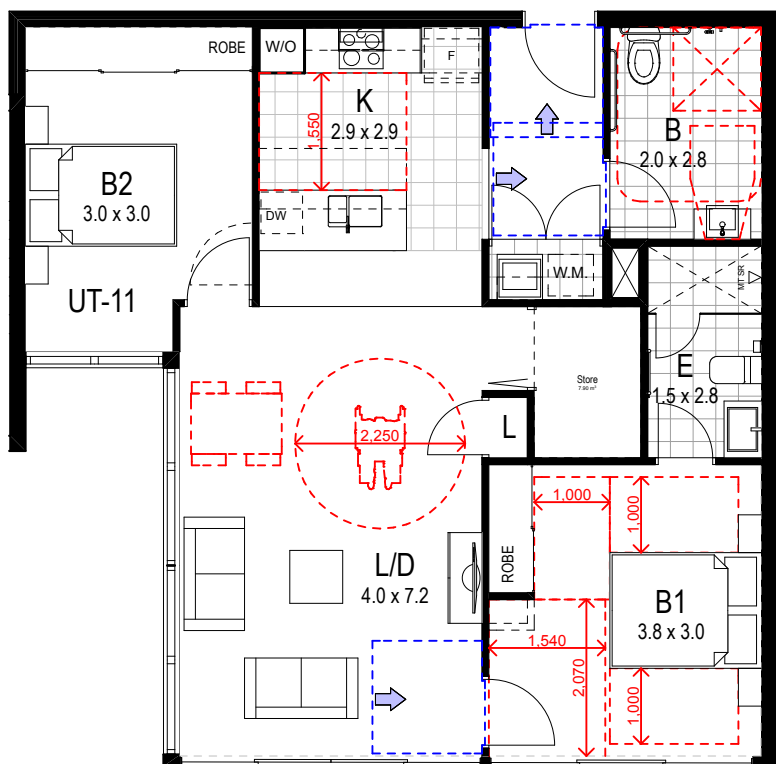
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1:100



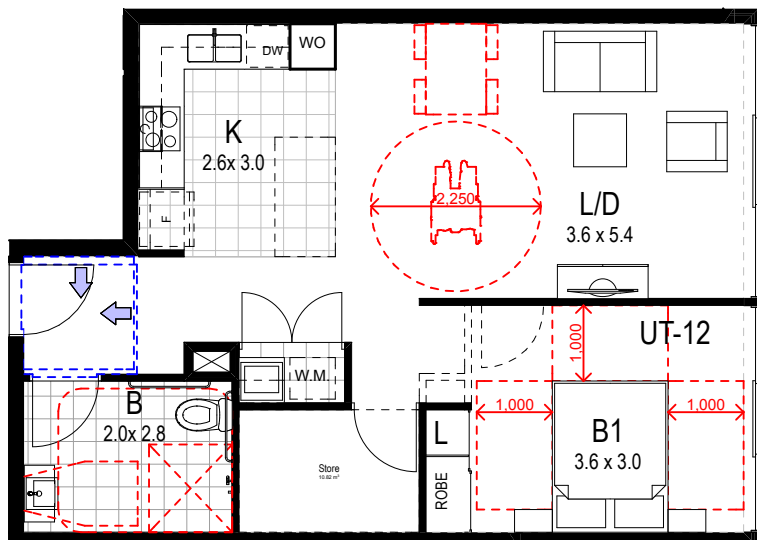
UT-15 Pre-Adaptation
1:100



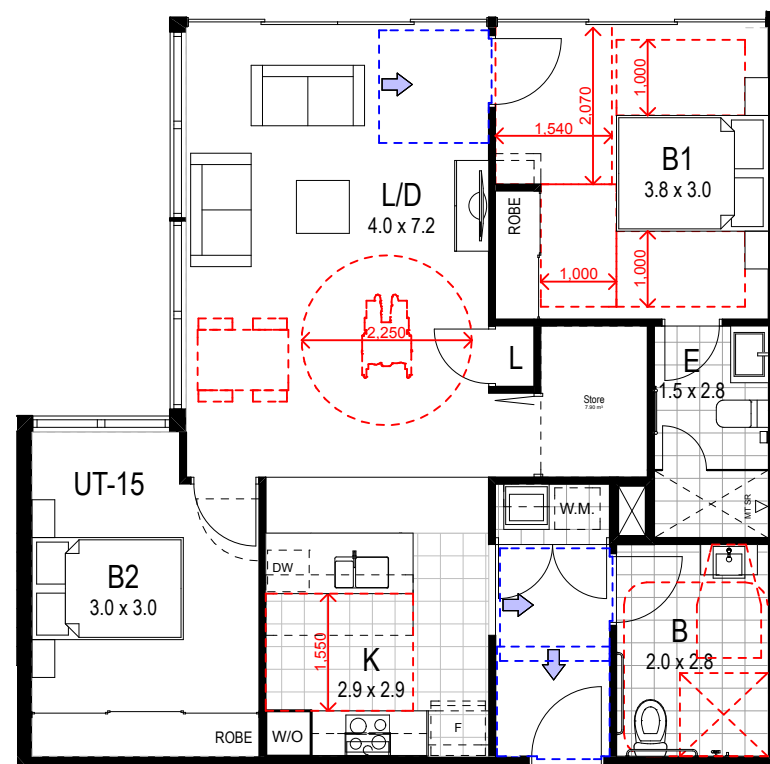
UT-16 Pre-Adaptable
1:100



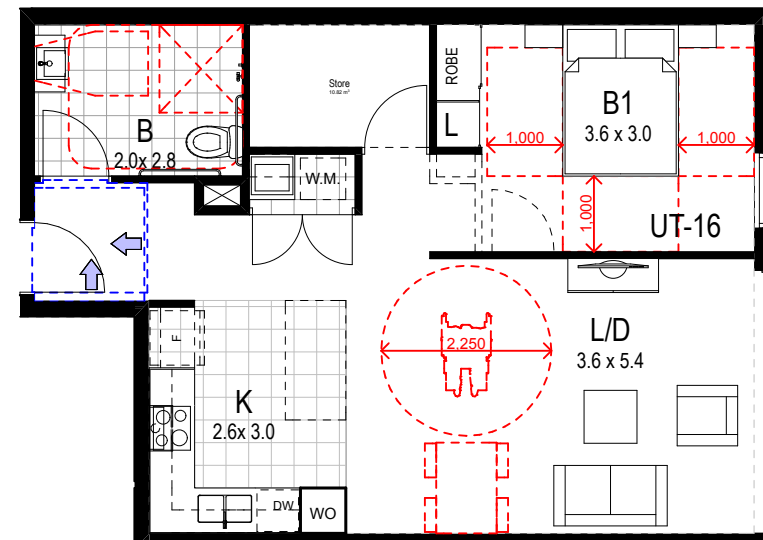
UT-11 Post-Adaptable
1:100



UT-12 Post-Adaptation
1:100



UT-15 Post-Adaptation
1:100



UT-16 Post Adaptation
1:100

UNIT TYPE	ADAPTABLE UNITS
UT-11	109, 209, 310, 410 & 510
UT-12	106, 206, 306, 406
UT-15	104, 204, 304, 404
UT-16	107, 207, 308, 408

GRAB-RAILS

- Grabrails shall comply with the following:
- Grabrails shall be not less than 30 mm and not more than 40 mm outside diameter; or they shall have a sectional shape within the limits of 30 mm to 40 mm diameter.
 - Exposed edges and corners of grabrails shall have a radius of not less than 5 mm.
 - The fastenings and the materials and construction of grabrails shall be able to withstand a force of 1100 N applied at any position and in any direction without deformation or loosening or rotation of the fastenings or fittings.
 - The clearance between a grabrail and the adjacent wall surface or other obstruction shall be not less than 50 mm and not more than 60 mm. The clearance above a horizontal grabrail shall extend above the top of the grabrail by not less than 600 mm. The clearance below a horizontal or angled rail shall be a minimum of 50 mm except at fixing points.
 - Grabrails shall be fixed so that there is no obstruction to the passage of the hand along the top 270° arc of horizontal and angled grabrails. There shall be no obstruction to the passage of the hand for the full length of vertical grabrails.

DOORWAYS, DOORS AND CIRCULATION SPACE AT DOORWAYS

- Luminance contrast:
All doorways shall have a minimum luminance contrast of 30% provided between—
- door leaf and door jamb;
 - door leaf and adjacent wall;
 - architrave and wall;
 - door leaf and architrave; or
 - door jamb and adjacent wall.

DOOR CONTROLS

Door controls in, or forming part of, the continuous accessible path of travel shall comply with the requirements of this Clause.

DESIGN AND PREFERENCES

Door handles and related hardware and accessories shall comply with the following:

- The door handle and related hardware shall be of the type that allows the door to be unlocked and opened with one hand. The handle shall be such that the hand of a person who cannot grip will not slip from the handle during the operation of the latch.

WC DOORS

- WC doors may be either hinged or sliding. WC doors shall comply with the following:
- Outward-opening doors shall have a mechanism that holds the door in a closed position without the use of a latch.
 - Doors shall be provided with an in-use indicator and a bolt or catch. Where a snib catch is used, the snib handle shall have a minimum length of 45 mm from the centre of the spindle. In an emergency, the latch mechanism shall be operable from the outside.
 - The force required to operate the door shall be in accordance with Clause 13.5.2(e).
 - Door handles and hardware shall be in accordance with Clause 13.5.
 - A hand-held shower head shall be provided, which shall have a flexible hose of a minimum length of 1500 mm.
 - An adjustable shower head holder shall be provided to support the shower head and shall—
 - be installed on the shower head holder support grabrail
 - allow the graspable portion of the shower head to be positioned at various angles and heights;
 - allow the graspable portion of the shower head to be located at heights between 1000 mm and 1800 mm above the plane of the finished floor; and
 - allow access and adjustment from a seated position.
 - All fixtures, fittings, & construction to be installed and constructed in accordance with AS 1428.1 - 2009 All Referenced Clauses refer to AS - 1428.1 - 2009 noted below
 - Note All electrical fixtures above to be located at the nominated heights and clearances pre adaptation where possible.
 - All face plates to be converted at a later date to large rocker type switches post adaptation.
 - Note All electrical fixtures to be located min 500mm from internal corners UNO
 - Note: thermostatic mixing valves to be installed to all adaptable units pre adaptation
 - lighting level to be designed to achieve 300 Lux throughout entire unit
 - All floor coverings to comply with AS 4299 and AS 4586

NOTES:

- 2 Door handles of 'D' lever type provide an adequate grip for people with hand impairments.
- The clearance between the handle and the back plate or door face at the centre grip section of the handle shall be not less than 35 mm and not more than 45 mm.
- 'D' type handles shall be provided on sliding doors.
- Where snibs are installed, they shall have a lever handle of a minimum length of 45 mm from the centre of the spindle.
- For doors other than fire doors and smoke doors where a door closer is fitted, the force required at the door handle to operate the door shall not exceed the following:
 - To initially open the door..... 20 N
 - To swing or slide the door..... 20 N
 - To hold the door open between 60° and 90°..... 20 N
- Where an outward opening door is not self-closing, a horizontal handrail or pull bar shall be fixed on the closing face of a side-hung door, as shown in

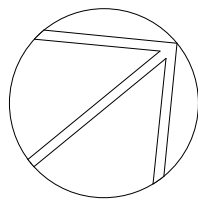
FOLDING SEAT

- A foldable seat shall be provided inside the shower recess, and shall—
- be self-draining;
 - be slip-resistant;
 - have front corners that are rounded to a radius of 10 to 15 mm;
 - have top edges that are rounded with a minimum radius of 2 to 3 mm; and
 - shall fold in an upwards direction and when folded the grabrail shall be accessible.

Where drainage is provided by holes or slots in single unit seats or by gaps between slats in compound seats, the diameter of the holes, the width of the slots and the gaps between slats shall be between 4 to 6 mm.
The fastenings, materials and construction of the seat shall be able to withstand a force of 1100 N applied at any position and in any direction without failing or loosening of fastenings.

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Notes



ISSUE	DESCRIPTION	BY	DATE
A	ISSUE FOR DA	CT	30.09.15
B	ISSUE FOR DA	CT	15.03.16

project

MIXED USE DEVELOPMENT

location

387-403 MACQUARIE ST
LIVERPOOL

client

PELLICANO GROUP

drawing title

Adaptable Units

date 23.06.15	checked	project arch. GK	drawn SB
scale AS SHOWN @ A1	no 15014	AP15	issue B



mosca pserras architects

02 9601 3244

02 9601 6336

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A GROUND FLOOR BRICK - TINTED GLAZING - URBAN FRINGE, BISCONTI

B POWDERCOATING FOR EXTERNAL DARK TINTED GLAZING - DULUX WOODLAND AND GREY, SATIN FINISH

C BLACK TINT TO ALL EXTERNAL GLAZED DOORS AND WINDOWS, LOUVRES & BALUSTRADES AS SHOWN, 30% TRANSPARENCY

D PAINT FOR FACADE WALLS TO MATCH EXISTING - DULUX WOODLAND - WOODLAND GREY

E PAINT TO BALCONY FRONTS AND UNDERSIDES OF SLABS DULUX - WHITE ON WHITE

F CLADDING TO FRONT OF BALCONIES ON LEVELS 1-5 - WARM GREY PRECAST CONCRETE PANELS

G POWDERCOATING TO STRUCTURAL WALL - DULUX, SHOEI WHITE, SATIN FINISH

H BROWN TINT TO FEATURE LOUVRED GLASS PANELS AS SHOWN, 30% TRANSPARENCY

I ALUCOBOND GLAZING FEATURE PANELS - NATURAL COPPER

J ALUCOBOND GLAZING FEATURE PANELS, PURE WHITE

K SCREENING ON WESTERN ELEVATION - DULUX POWDERCOAT, METROPOLIS WALLS GLD PEARS

Notes

project

MIXED USE
DEVELOPMENT

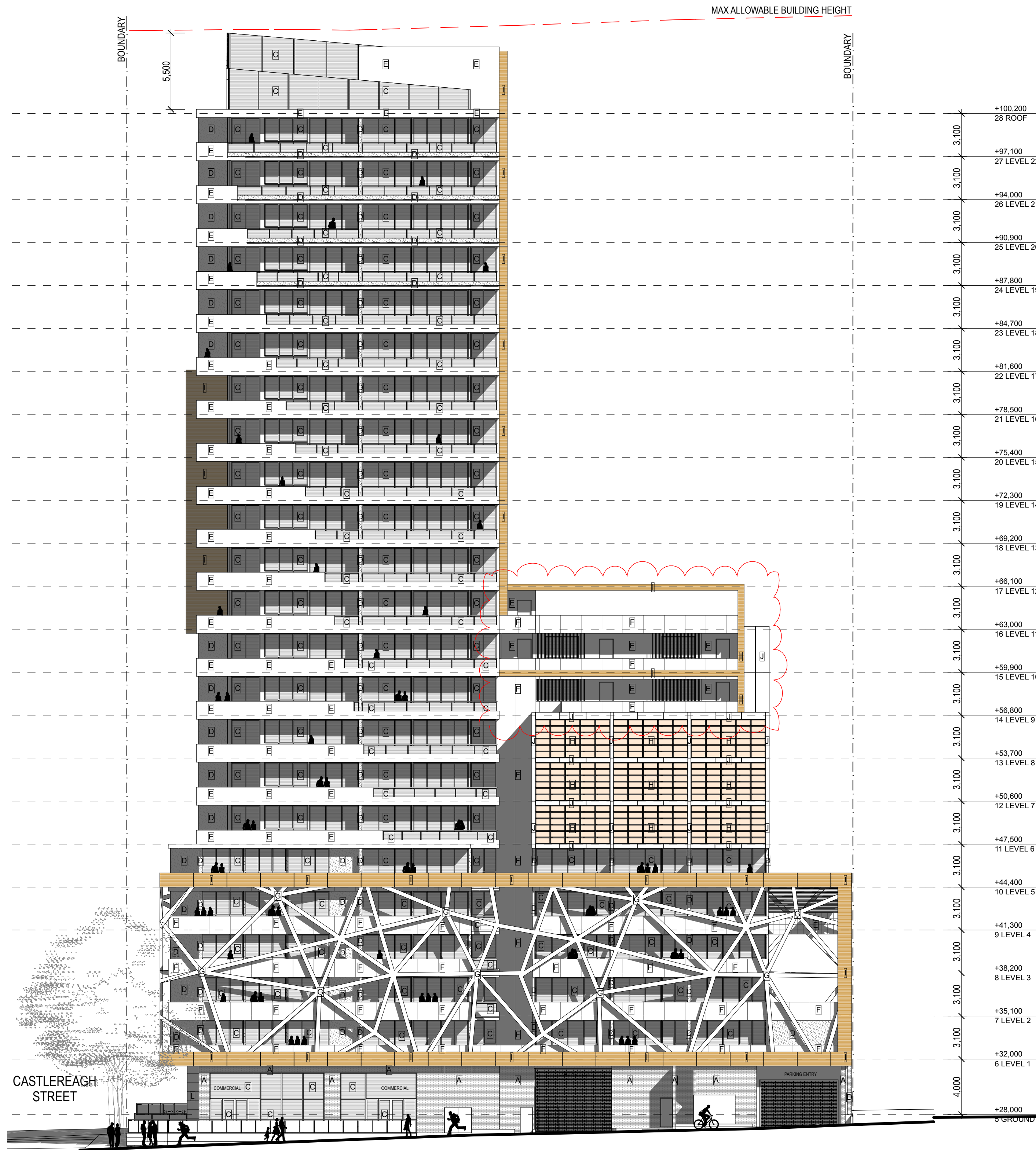
location

387-403 MACQUARIE ST
LIVERPOOL

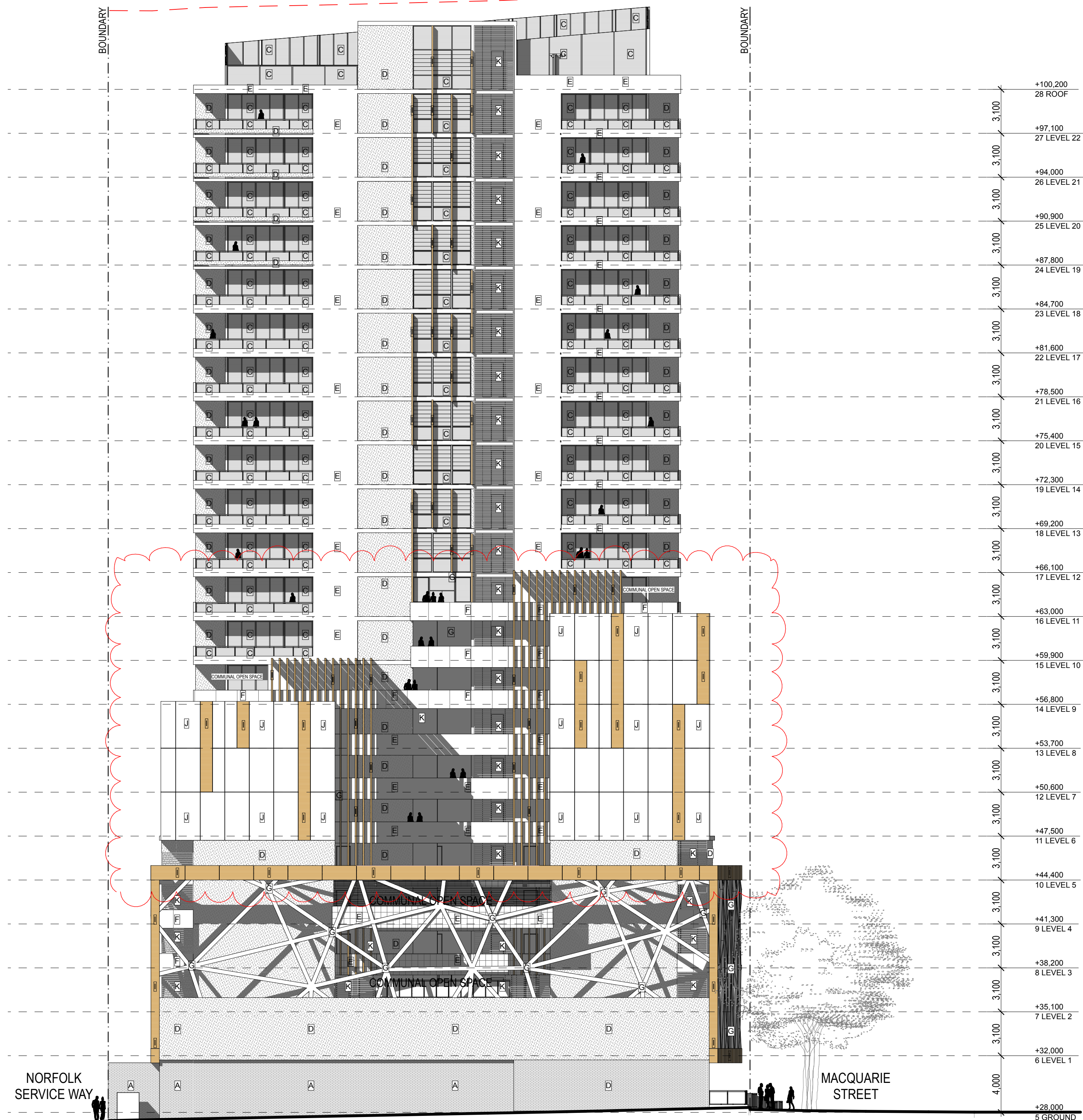
drawing title
Elevations

mosca pserras architects

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NORFOLK SERVICE WAY ELEVATION
1:200



WEST ELEVATION
1:200

SCHEDULE OF FINISHES

- A** GROUND FLOOR BRICK - AUSTRAL BRICKS - URBAN FRANGE, BISCOTTI
- B** POWDERCOATING FOR EXTERNAL DARK TINTED GLAZING - DULUX WOODLAND GREY, SATIN FINISH
- C** BLACK TINT TO ALL EXTERNAL GLAZED DOORS AND WINDOWS LOUVRES & BALUSTRADES AS SHOWN, 30% TRANSPARENCY
- D** PAINT FOR FACADE WALLS TO MATCH POWDERCOAT DULUX - WOODLAND GREY
- E** PAINT TO BALCONY FRONTS AND UNDERSIDE OF SLABS DULUX - WHITE ON WHITE
- F** CLADDING TO FRONT OF BALCONIES ON LEVELS 1-6 - WARM GREY PRECAST CONCRETE PANELS
- G** POWDERCOATING TO STRUCTURAL VAIL - DULUX SNOW WHITE, SATIN FINISH
- H** BROWN TINT TO FEATURE LOUVRED GLASS PANELS AS SHOWN, 30% TRANSPARENCY
- I** ALUCOBOND CLADDING FEATURE PANELS, NATURAL COPPER
- J** ALUCOBOND CLADDING FEATURE PANELS, PURE WHITE
- K** SCREENING ON WESTERN ELEVATION - DULUX POWDERCOAT, METROPOLIS SILVER GLO PEARL
- L** FEATURE DESIGN TO ENTRY PORTAL TO FUTURE DETAIL

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Notes

ISSUE	DESCRIPTION	BY	DATE
A	ISSUE FOR DA	CT	30.09.15
B	Removed 3 units from northern wing Amended screens and roof top shading structures Minor adjustment to core New planters/ voids adjacent units	CT	15.03.16

project
MIXED USE DEVELOPMENT

location
387-403 MACQUARIE ST LIVERPOOL

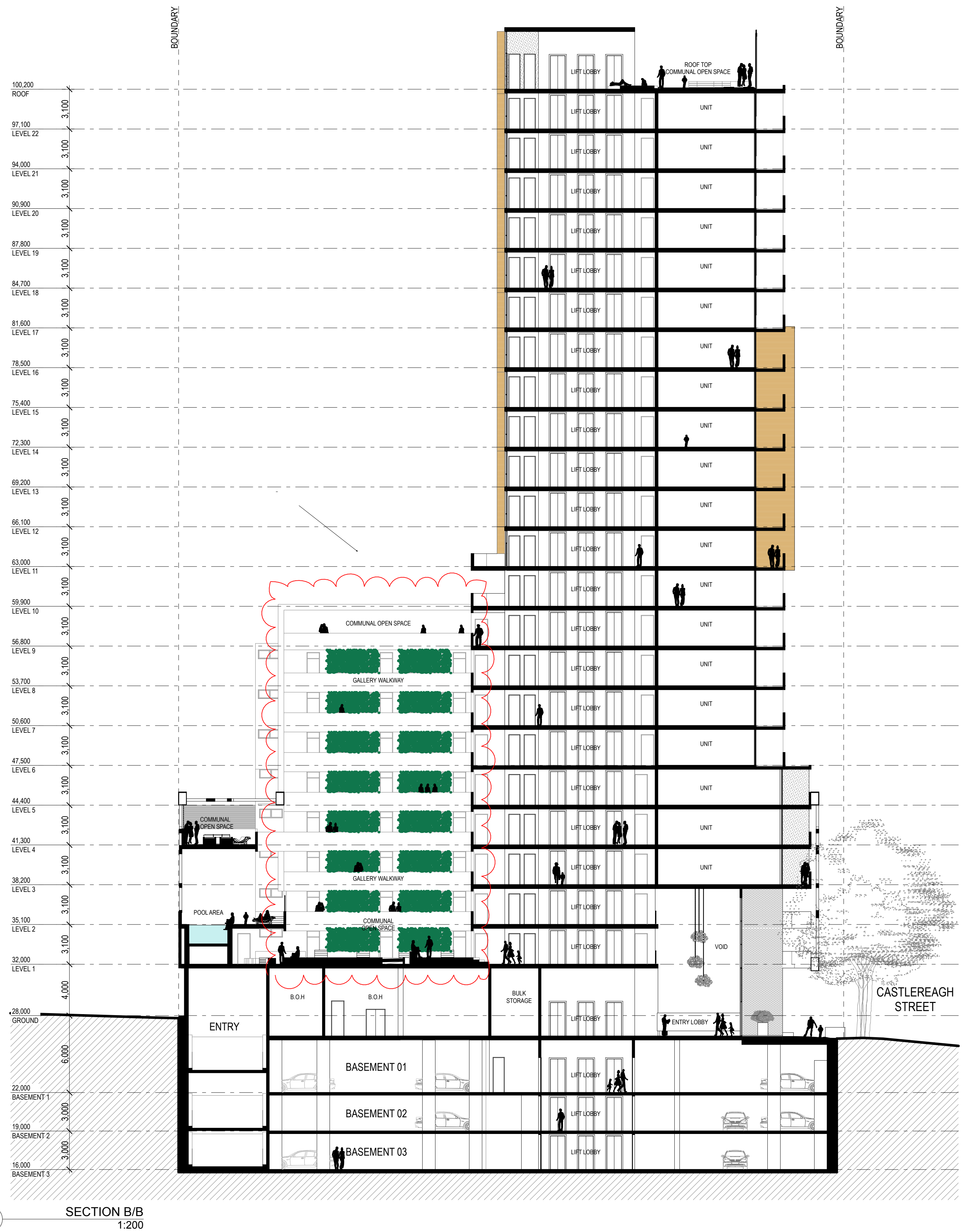
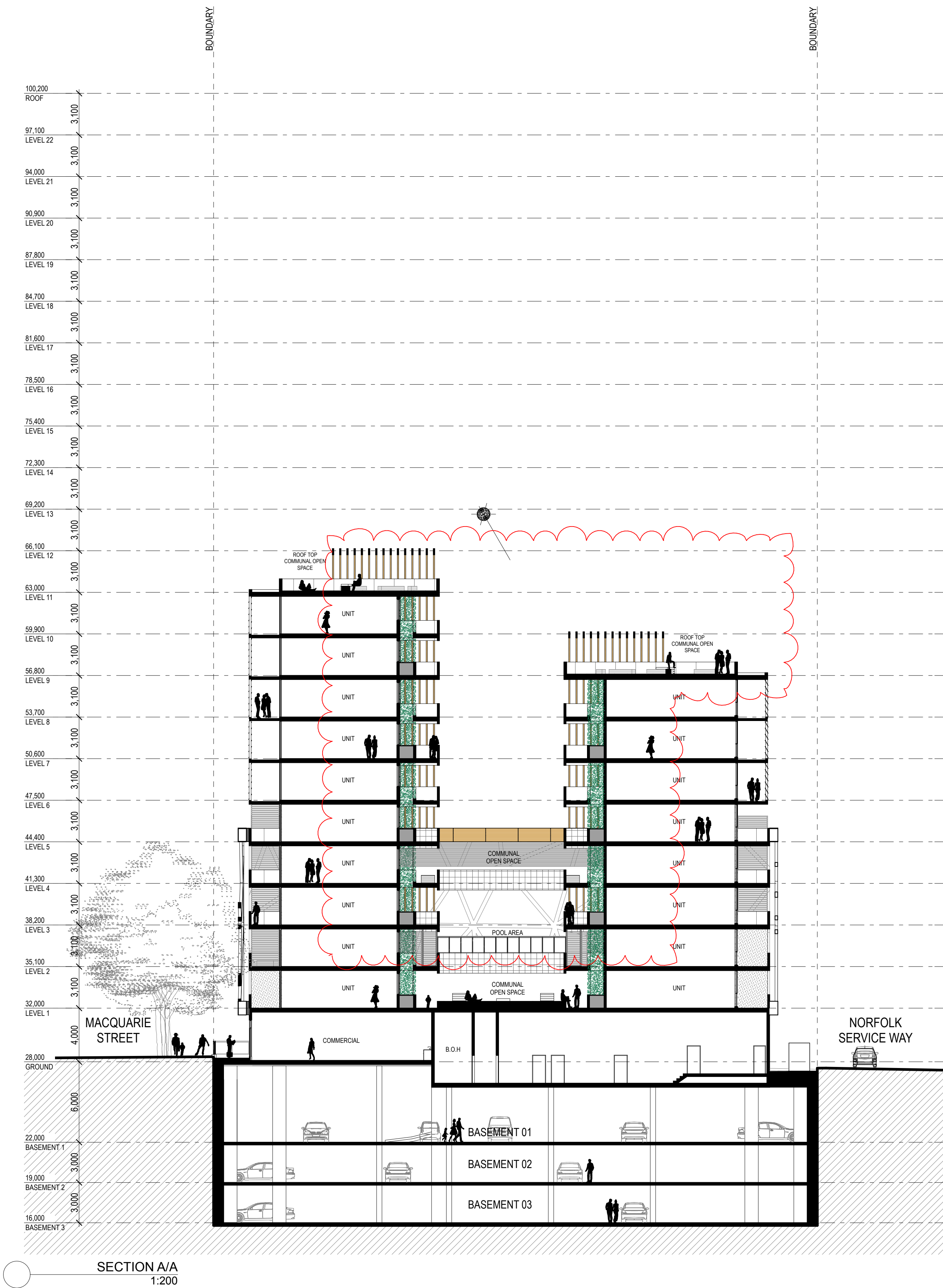
client
PELLICANO GROUP

drawing title
Elevations

date 23.06.15	checked no	project arch. GK	drawn SB
scale AS SHOWN @ A1	no 15014	AP13	issue B

m p a
mosca pserras architects

p 02 9601 3244 f 02 9601 6336
a po box 3353, liverpool westfield nsw 2170



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- larger scale drawings and written dimensions take preference.
- do not scale from drawing
- all dimensions to be checked on site before commencement of work.
- all discrepancies to be brought to the attention of the author.

Notes

ISSUE	DESCRIPTION	BY	DATE
A	ISSUE FOR DA	CT	30.09.15
B	Removed 3 units from northern wing Amended screens and roof top shading structures Minor adjustment to core New planters/ voids adjacent units	CT	15.03.16

project
MIXED USE DEVELOPMENT
 location
387-403 MACQUARIE ST LIVERPOOL

client
PELLICANO GROUP
 drawing title
Sections

date 23.06.15	checked no	project arch. GK	drawn SB
scale AS SHOWN @ A1	15014	AP14	ISSUE B

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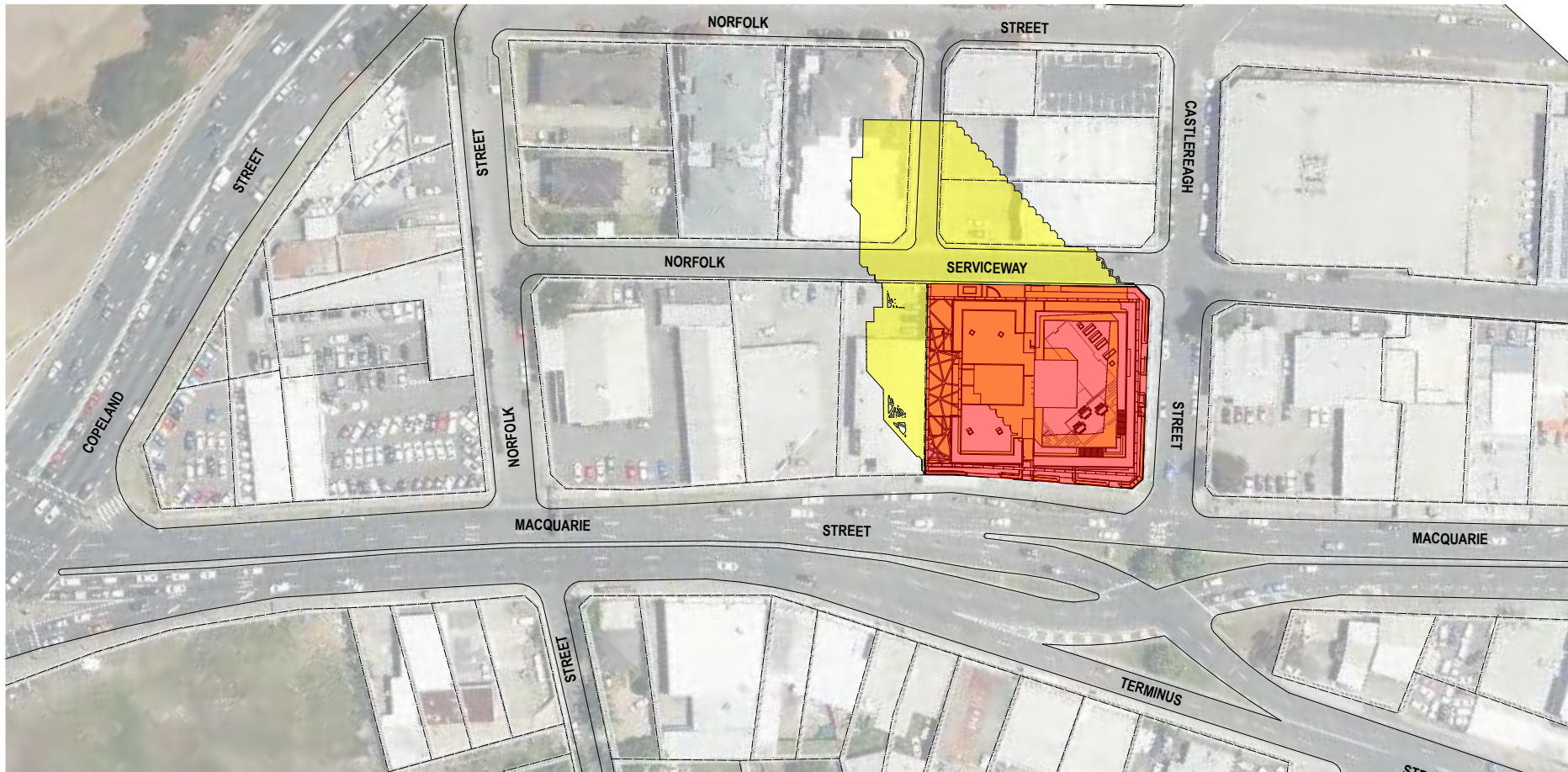
Jun-21-9 am
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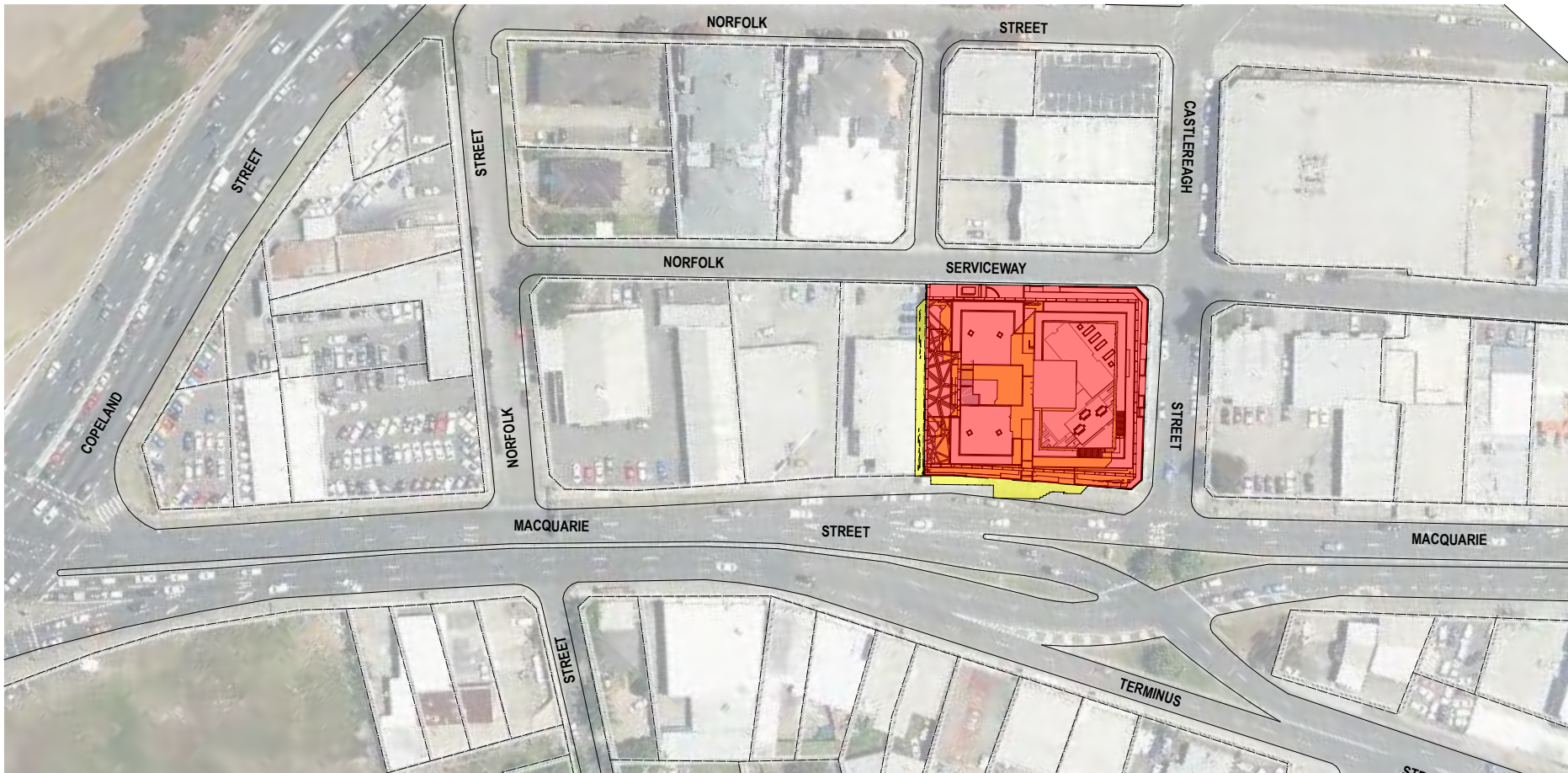
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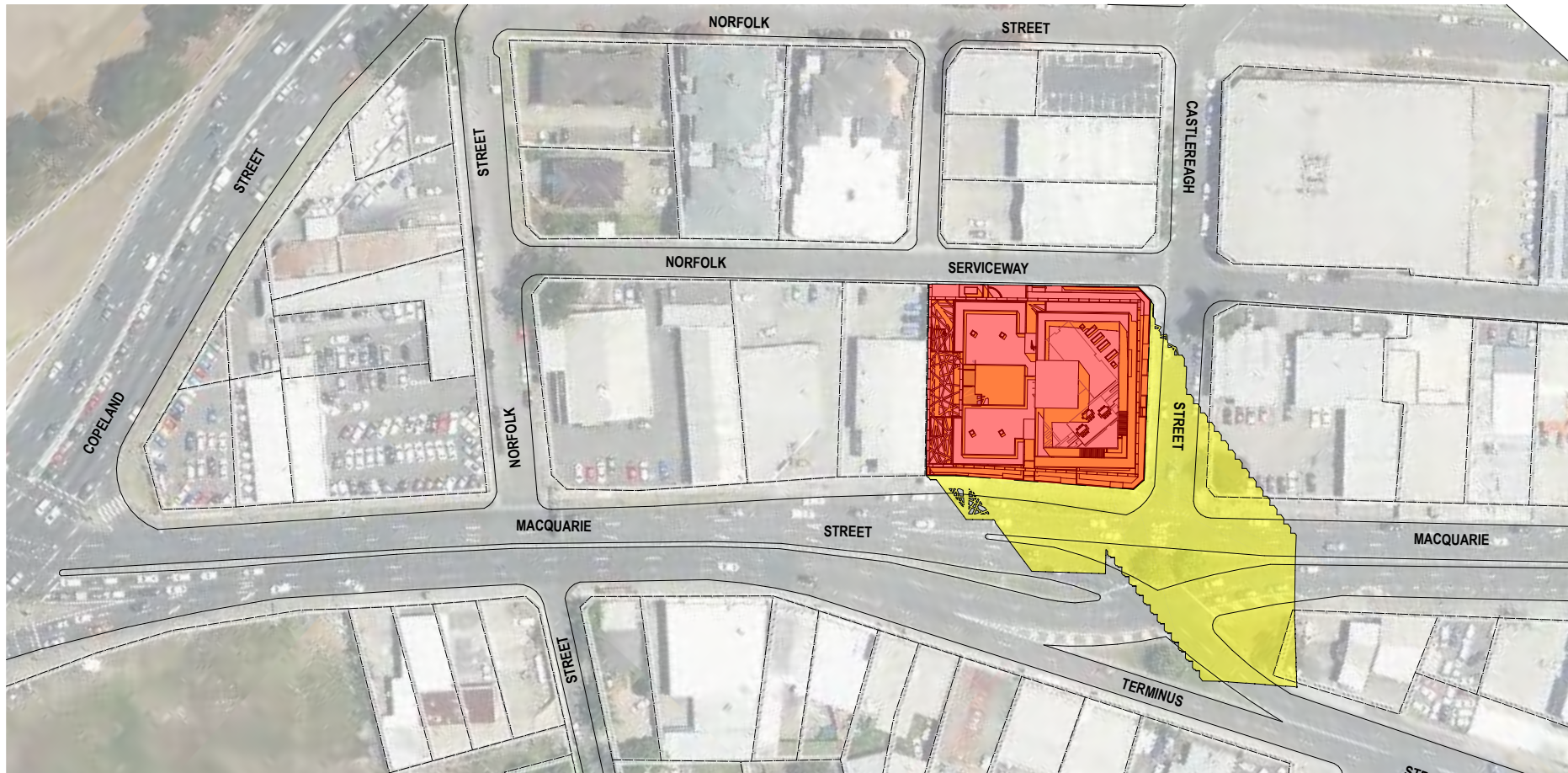
Jun-21-3pm
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Dec-21-9am
1:1500



Dec-21-12 pm
1:1500



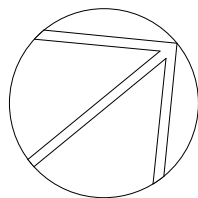
Dec-21-3pm
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LEGEND:

- Site
- Shadow of Proposed Development

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- all discrepancies to be brought to the attention of the author.

Notes



ISSUE	DESCRIPTION	BY	DATE
A	ISSUE FOR DA	CT	30.09.15
B	Removed 2 storeys from northern wing	CT	15.03.16

project
**MIXED USE
DEVELOPMENT**

location
**387-403 MACQUARIE ST
LIVERPOOL**

client
PELLICANO GROUP

drawing title
Shadow Documents

date 23.06.15	checked GK	project arch. GK	drawn SB
scale AS SHOWN @ A1	no 15014	AP16	ISSUE B

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